

--- Resident

Lot 2, Foothills Estates, Salmon Arm, BC, Canada

DRAWING LIST

A-0.01	Cover Sheet Perspectives	As Noted
A-0.02	Data & Site Plan	1/4" = 1'-0"
A-1.01	Foundation Plan	1/4" = 1'-0"
A-1.02	Main Floor Plan	1/4" = 1'-0"
A-1.03	Main Floor Plan	1/4" = 1'-0"
A-2.01	Roof Plan Main	3/16" = 1'-0"
A-3.01	Elevations	3/16" = 1'-0"
A-4.01	Sections	1/4" = 1'-0"
S-1.01	Foundation Structural	1/4" = 1'-0"
S-1.02	Main Floor Structural	1/4" = 1'-0"



REVISIONS:
None

ISSUED FOR:

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WOOD CREEK CONSTRUCTION LTD.
SALMON ARM, BC
V1E 1X6 CANADA

Wood Creek Construction Ltd.
- Building with character -

ENGINEER: ---

ADDRESS: Salmon Arm, BC V1E
TEL: 250-836-7426 FAX: 250-836-7426

Foothills Estates
Lot2

Perspectives

SITE ADDRESS:
Lot2, Foothills Estates
Salmon Arm, BC
V1E 1X6

LEGAL DESCRIPTION:
Lot 2, Foothills Estates
Plan

SO. FOOTAGE: 3102.7 sq ft
DRAWN BY: T. Bako
JOB NO.: 15000

SCALE: 1/4" = 1'-0"

SHEET: A-0.01

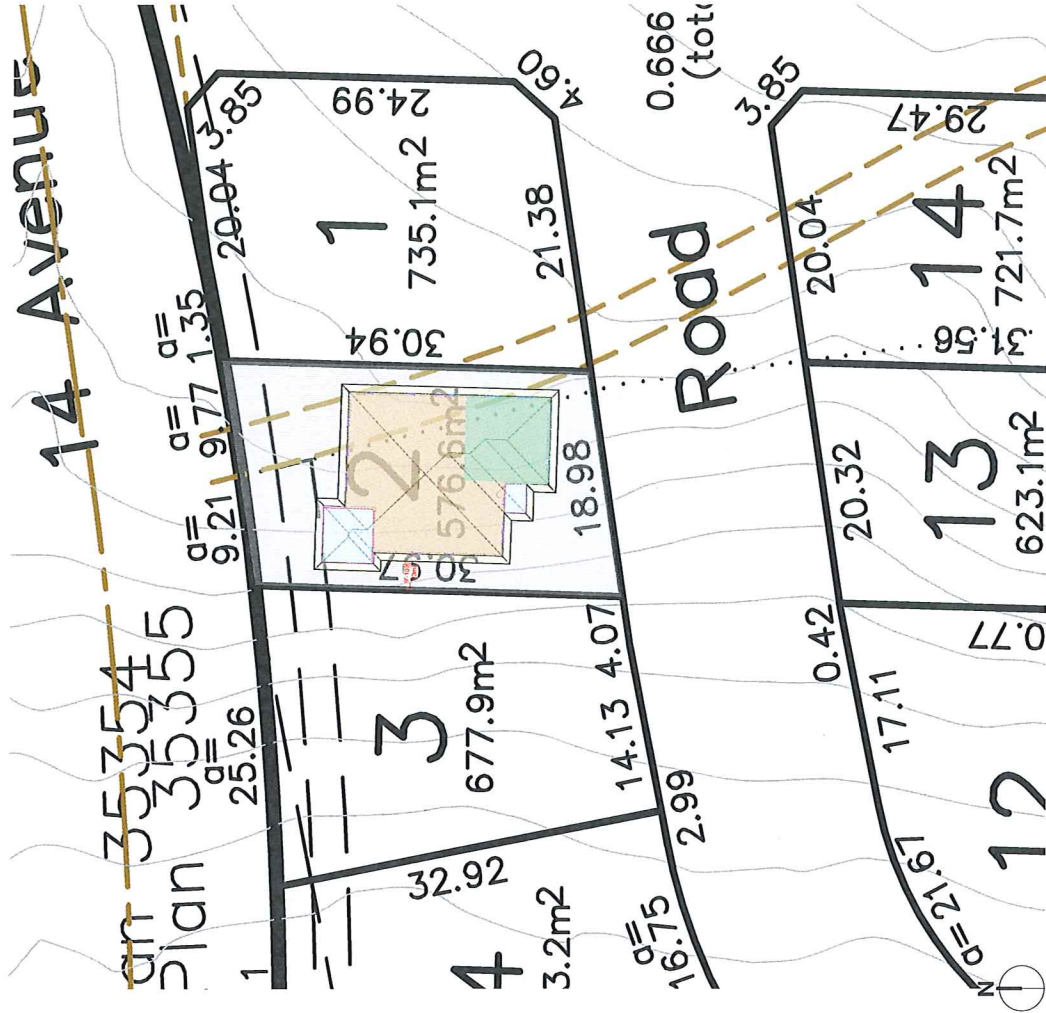
Date: 18/09/17
Drawn: T. Bako

GENERAL NOTES

- 1 ALL CONSTRUCTION MATERIALS & WORKMANSHIP TO BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE, PLUMBING CODE, ELECTRICAL CODE AND ALL OTHER CODES, ZONING AND BYLAWS THAT MAY APPLY.
- 2 THE CONTRACTOR AND ALL SUBTRADE ARE RESPONSIBLE FOR THE REVIEW OF ALL DRAWINGS AND SITE CONDITIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHOULD BE REPORTED IMMEDIATELY.
- 3 ALL FRAMING MATERIAL TO BE S.P.F. OR BETTER WITH THE EXCEPTION OF WALL STUDS.
- 4 CONCRETE FOOTINGS AND WALLS TO BE MINIMUM 20MPA @28 DAYS. FLOOR SLABS AND SUBFLOORS TO BE MINIMUM 25MPA @28 DAYS.
- 5 ALL CONCRETE FOOTINGS TO BE PLACED ON ORIGINAL UNDISTURBED GROUND, FREE OF ALL ORGANIC, FROZEN OR DAMP PROOF FOUNDATION WALLS BELOW GRADE WITH 2 COATS OF BITUMINOUS MATERIAL.
- 6 FLOOR SLABS TO BE 4" PRECASTED P.C. WITH FILTER FABRIC ULTRAVIOLET RESISTANT POLY VAPOUR BARRIER ON A 4" OF GRANULAR FILL. ALL FLOOR SLABS TO BE 4" MINIMUM WITH 20MPA SLABS, OR 8" OF 24" DRINK ROCK OR OTHER MATERIAL SUITABLE FOR MOVEMENT OF RADON GAS UNDER INTERIOR SLABS.
- 7 ALL FOUNDATION DRAINS TO BE 4" PRECASTED P.C. WITH FILTER FABRIC AND MINIMUM 4" DRAIN ROCK, DRAINED TO MUNICIPAL SERVICES ACCORDING TO LOCAL STANDARDS.
- 8 ALL TRUSSES, JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS NOT COVERED IN B.C. BUILDING CODE TO BE DESIGNED AND FABRICATED TO MEET THE REQUIREMENTS OF THE B.C. BUILDING CODE PRIOR TO ANY FABRICATION.
- 9 CONTRACTOR TO VERIFY ALL PROPERTY AND FOUNDATION LINES PRIOR TO COMMENCEMENT OF WORK. ALL FOUNDATION LINES TO BE VERIFIED PRIOR TO PLACING FOOTINGS OR RUNNING SERVICES WITHIN BUILDING ENVELOPE.
- 10 ALL ROOF SPACES TO BE VENTILATED WITH SOFFIT AND ROOF VENTS. ALL ROOF VENTS TO BE MINIMUM 20MPA @28 DAYS. ALL ROOF VENTS TO BE LOCATED AT ROOF MINIMUM 20% TO BE LOCATED AT SOFFIT.
- 11 DOOR FRAMES AT ENTRANCES AND EXTERIOR SPACES TO BE VENTILATED WITH SOFFIT AND ROOF VENTS. ALL ROOF VENTS TO BE MINIMUM 20MPA @28 DAYS. ALL ROOF VENTS TO BE LOCATED AT ROOF MINIMUM 20% TO BE LOCATED AT SOFFIT.
- 12 ALL GLASS IN DOORS, SIDELITES OR WINDOWS WITHIN 12" OF EXTERIOR SURFACE TO BE TREATED WITH AN ANTI-REFLECTIVE COATING. ALL GLASS TO BE TREATED WITH AN ANTI-REFLECTIVE COATING.
- 13 RAIN WATER LEADERS NOT SHOWN ON PLAN CONTRACTOR TO DETERMINE EXACT LOCATION SUITABLE TO SITE AND MUNICIPAL SERVICES. ALL LEADERS TO BE INSTALLED WITH CURVED BOTTOMS.
- 14 ELECTRICAL LOCATIONS TO BE DETERMINED BY ELECTRICAL CONTRACTOR WITH THE APPROVAL OF HOME OWNER OR GENERAL CONTRACTOR AND IN ACCORDANCE WITH CURRENT ELECTRICAL CODES AND REGULATIONS.
- 15 APPROVED SMOKE ALARMS TO BE INSTALLED WITH LOCATION APPROVED BY APPROPRIATE LOCAL MUNICIPALITY.
- 16 REFER TO VENDOR AND SPECIFICATIONS FROM STRUCTURAL ENGINEER, FLOOR JOIST SUPPLIER, AND ROOF TRUSS MANUFACTURER FOR BEAM, POST, FOOTING AND TRUSS MANUFACTURER'S REQUIREMENTS AND SPECIFICATIONS FOR ALL POINT LOADS. ANY STRUCTURAL SPECIFICATIONS SHOWN ON WOOD CREEK PLANS ARE ESTIMATES ONLY AND MAY NOT ACCURATELY REPRESENT LOADING AND BEING OR MAY NOT INCLUDE POINT LOADS ON STRUCTURAL MEMBERS DESIGNED BY OTHERS.

AREA

BASEMENT FLOOR	1534.4 sq ft
MAIN FLOOR	1563.3 sq ft
TOTAL RESIDENTIAL AREA	3102.7 sq ft
DECK (MAIN)	99.5 sq ft
GARAGE	552.7 sq ft
TOTAL BUILDING AREA	4253.2 sq ft
SITE AREA	6231.1 sq ft (7337 sq m)



1 Site Plan
Scale: 1:200

REVISIONS: None	ISSUED FOR: None	PLEASE NOTE: THIS DRAWING IS THE PROPERTY OF WOOD CREEK CONSTRUCTION LTD. AND MAY NOT BE USED FOR ANY OTHER CONSTRUCTION PROJECT WITHOUT THE WRITTEN PERMISSION.	WOOD CREEK CONSTRUCTION LTD. 1000 SALMON AVENUE SALMON ARMS BC V1E 1X6 CANADA	- Building with character - Wood Creek Construction Ltd.	ENGINEER: None	ADDRESS: Salmon Arms, BC V1E 1X6 FOOTHILLS ESTATES LOT 2	DATE: 10/25/2023	DATA & SITE PLAN
SITE ADDRESS: Lot 2, Foothills Estates Salmon Arms, BC V1E 1X6								
LEGAL DESCRIPTION: Lot 2, Foothills Estates Salmon Arms, BC V1E 1X6								
SQ FOOTAGE: 3102.7 sq ft								
DESIGNED BY: None								
DRAWN BY: None								
JOB NO.:								
SCALE: 1/4" = 1'-0"								
SHEET: A-0.02								
Date: 10/25/23 Time: 10:55 AM								

REVISIONS:
None

ISSUED FOR:

PLEASE NOTE: THIS DRAWING IS THE PROPERTY OF WOOD CREEK CONSTRUCTION LTD. AND MAY NOT BE USED WITHOUT THE WRITTEN PERMISSION.

WOOD CREEK CONSTRUCTION LTD.
171 HWY 488 STE. 200
SALMON ARM, BC V1E 1X6 CANADA

ENGINEER: _____
ADDRESS: Salmon Arm, BC V1E
TEL: 250-733-7430 FAX: 250-733-7430

FOOTHILLS ESTATES
Lot 2

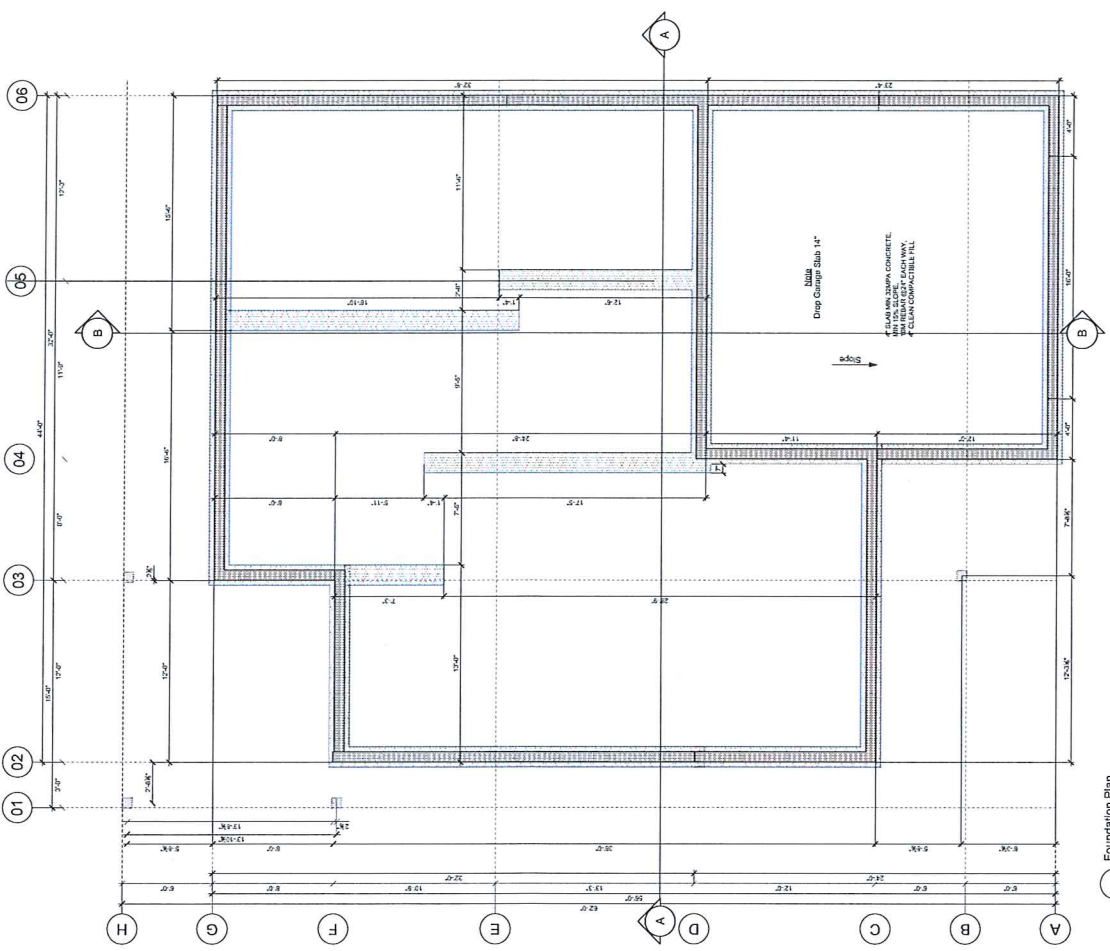
Foundation

DATE: 10/15/17
DRAWN BY: T.MADON
JOB NO.: 164009
SCALE: 1/4" = 1'-0"

DATE: 10/15/17
DRAWN BY: T.MADON
JOB NO.: 164009
SCALE: 1/4" = 1'-0"

DATE: 10/15/17
DRAWN BY: T.MADON
JOB NO.: 164009
SCALE: 1/4" = 1'-0"

DATE: 10/15/17
DRAWN BY: T.MADON
JOB NO.: 164009
SCALE: 1/4" = 1'-0"



1 Foundation Plan
Scale: 1/4" = 1'-0"

A-1.01

Date: 10/15/17
Drawn: T.MADON

REVISIONS:
None

ISSUED FOR:

PLEASE NOTE: THIS DRAWING IS FOR INFORMATION ONLY AND IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE WRITTEN PERMISSION.

WOOD CREEK CONSTRUCTION LTD.
1000 AVENUE 10
SALMON ARM BC
V1E 1X6 CANADA

Wood Creek
Construction Ltd.
- Building with character -

ENGINEER:

ADDRESS:
1000 AVENUE 10
SALMON ARM BC V1E 1X6

PROJECT:
Foothills
Estate
Lot 2

Basement
Floor

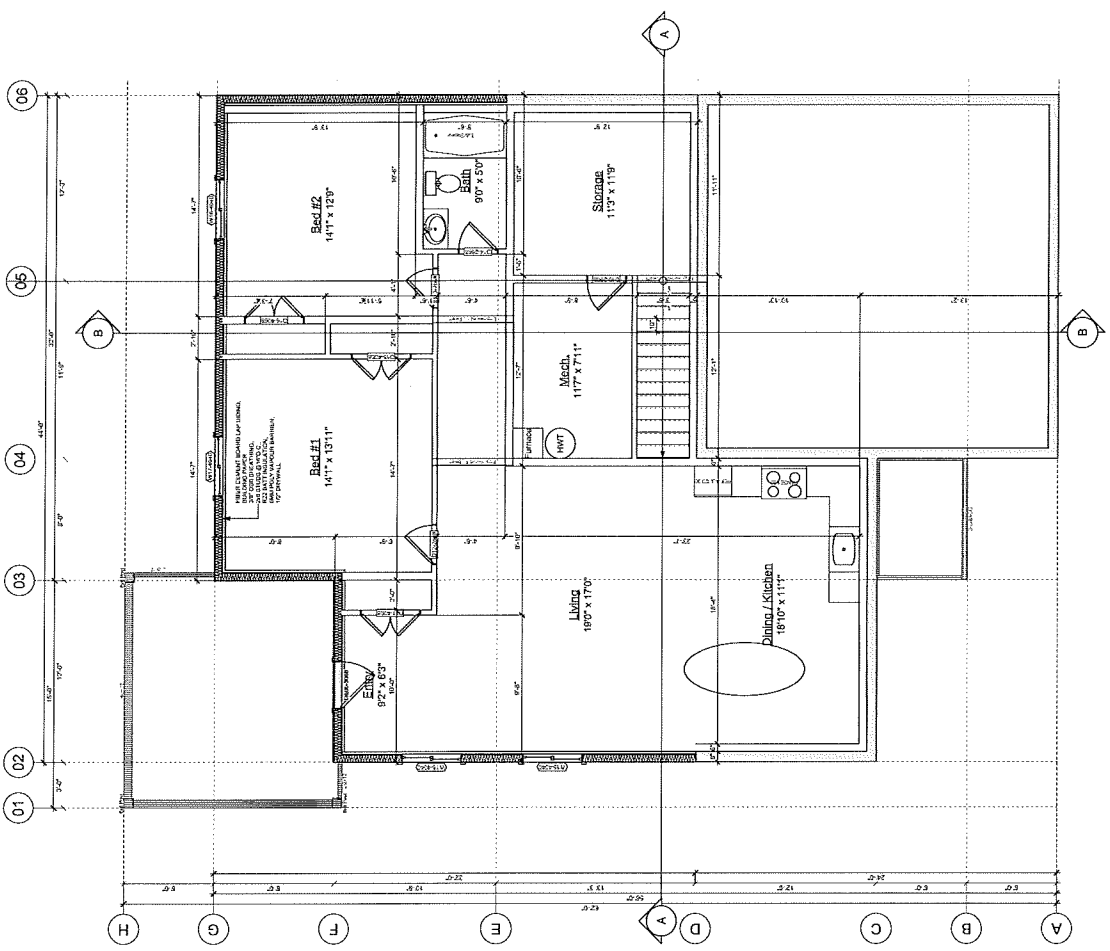
DATE: 2017.04.11
LUCY FOOTHILL ESTATE
SALMON ARM, BC
R20

LEGAL DESCRIPTION:
Lot 2, Foothill Estate,
Salmon Arm, BC

SO. FOOTAGE: 3102.7 sq ft
TAXES:
DRAWN BY:
DATE:
SCALE: 1/4" = 1'-0"

DATE: 2017.04.11
1000 AVENUE 10
SALMON ARM BC V1E 1X6

A-1.02



2 Basement Floor Plan
Basement Floor Area
1034.4 sq ft

REVISIONS:
None

ISSUED FOR:

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WOOD CREEK CONSTRUCTION LTD.
SALVAGE WAREHOUSE
V1E 1X6 CANADA

Wood Creek Construction Ltd.
- Building with character -

ENGINEER:

ADDRESS:
2. Grand Ave, BC V1E 1X2S6

FOOTHILLS ESTATES
Lot2

Main Floor

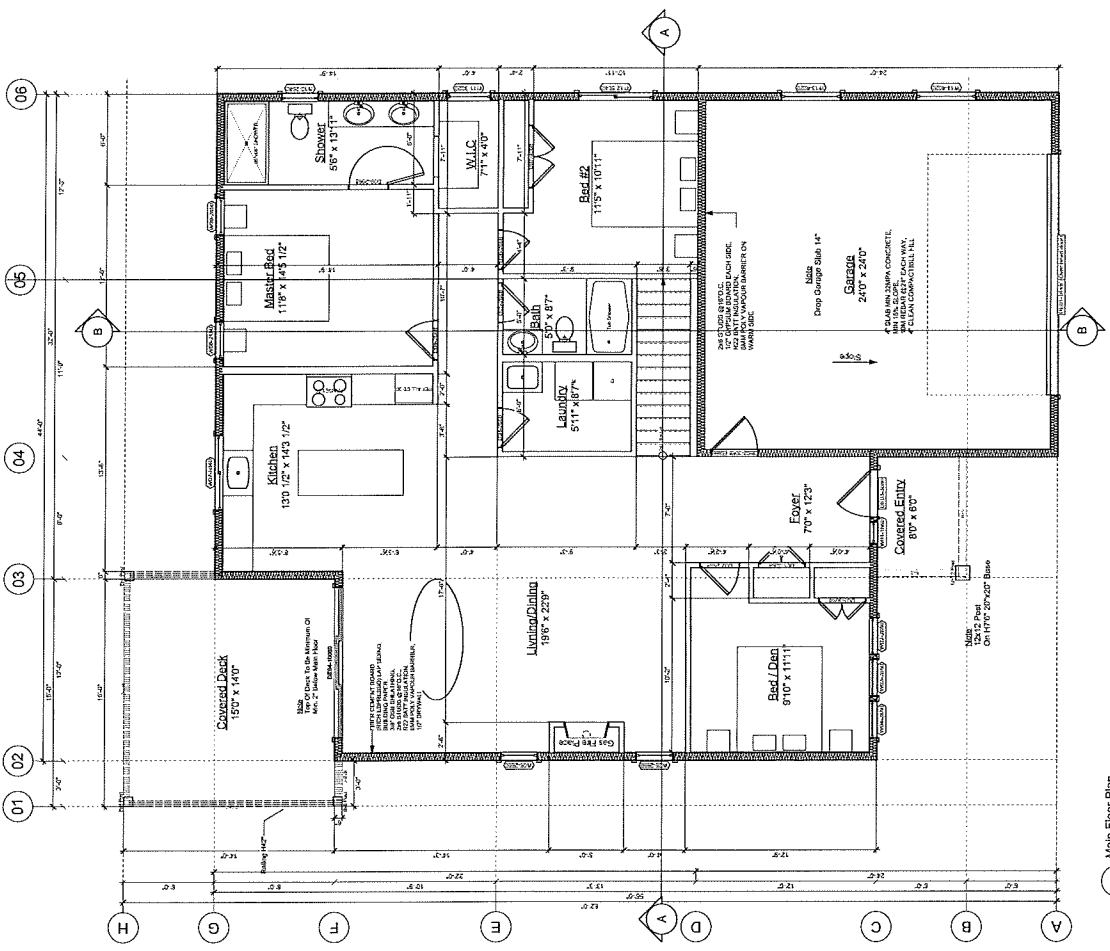
SITE ADDRESS:
Lot2, Foothills Estates
Surrey, BC
S.C.

LEGAL DESCRIPTION:
Subject Lot,
Plan

SCALE: 1/4" = 1'-0"
DATE: 18/01/17
DRAWN BY: TMBD
CHECKED BY: TMBD
DESIGN BY: TMBD

SHEET:
A-1.03

DATE: 18/01/17
DRAWN BY: TMBD



1566.3 sq ft
399.7 sq ft
232.0 sq ft

2 Main Floor Plan
Scale: 1/4" = 1'-0"

REVISIONS:
None

ISSUED FOR:

PLEASE NOTE: THIS DRAWING
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PERMISSION.

WOOD CREEK
CONSTRUCTION LTD.
SALMON ARM BC
V1E 1X6 CANADA

Wood Creek
Construction Ltd.
- Building with character -

ENGINEER: -

ADDRESS:
Salmon Arm, BC V1E
1X6

FOOTHILLS
ESTATES
LOT 2

Roof Plan

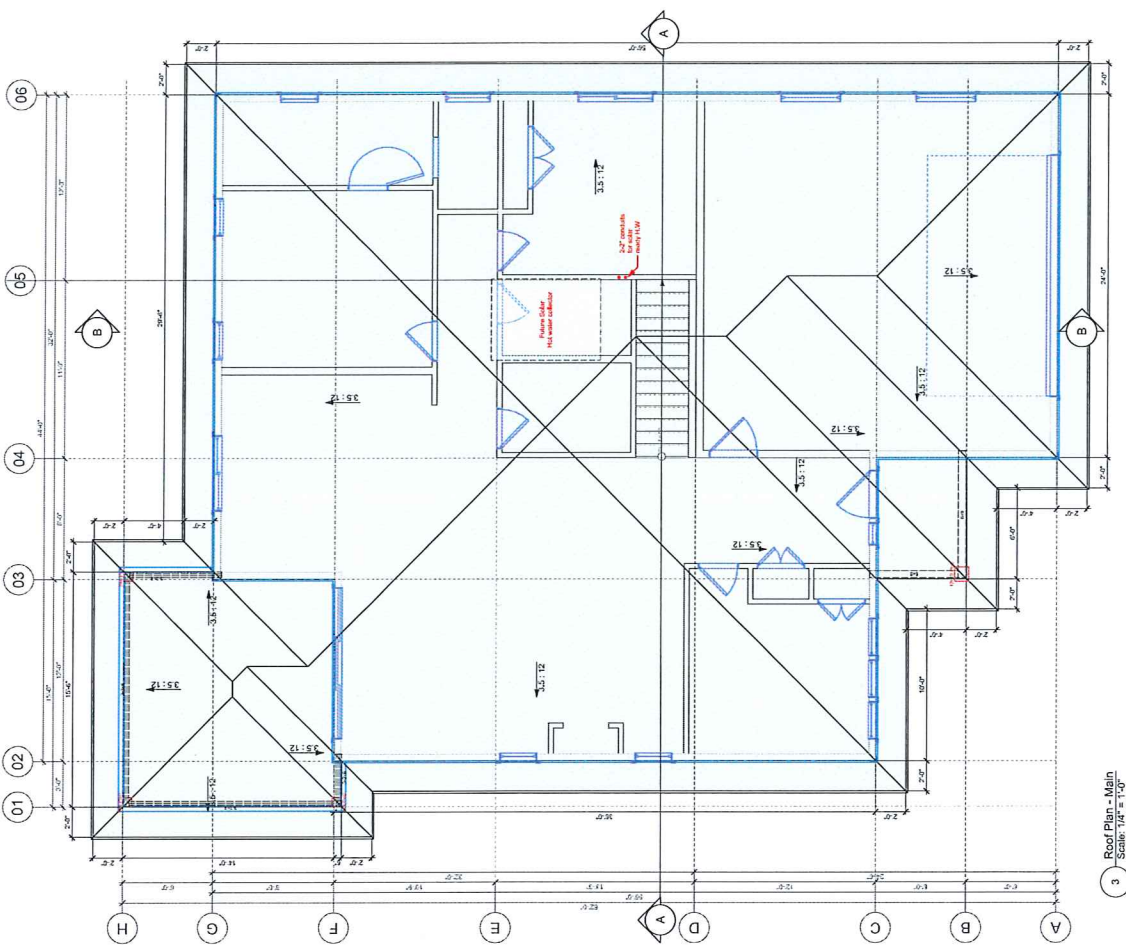
TITLE ADDRESS:
Lot 2, Foothills Estates
Salmon Arm,
B.C.

LEGAL DESCRIPTION:
See
Project Lot
Plan

SQ. FOOTAGE: 3102.74 S.F.
DRAWN BY:
DATE:
SCALE: 1/8" = 1'-0"

A-1.04

Date: 11/17/12
Time: 10:51:02



3 Roof Plan - Main
Scale: 1/8" = 1'-0"

REVISIONS:
None

ISSUED FOR:

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WOOD CREEK CONSTRUCTION LTD.
SALVAGE & REPAIR
V1E 1X6 CANADA

Wood Creek Construction Ltd.
- Building with character -

ENGINEER: -

ADDRESS: Salmon Arm, BC V1E 1V6
TEL: 250- 836- 8888
FAX: 250- 836- 8888

FootHills Estates
Lot2

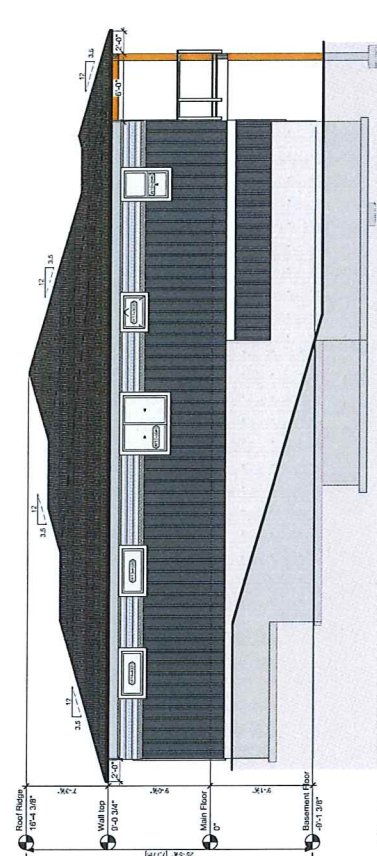
Elevations Plan

SITE ADDRESS: Lot2, FootHills Estates Salmon Arm, BC
LEGAL DESCRIPTION: L2, Lot 148, Plan

SQE FOOTAGE: 31027 sq ft.
DESIGNED BY: TAND
DRAWN BY: TAND
JOB NO.: 31020
SCALE: 3/16" = 1'-0"

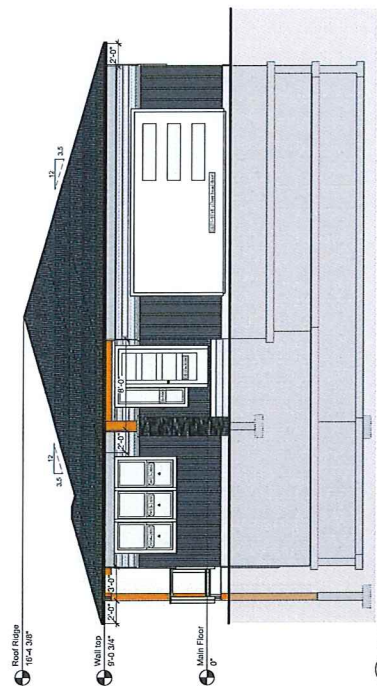
SHEET: A-2.01

Date: 10/19/17
Drawn: TAND



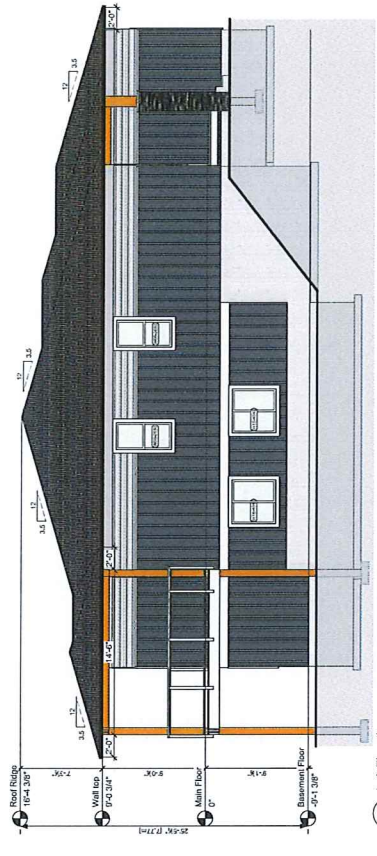
2 Right Elevation
Scale: 3/16" = 1'-0"

Spatial Separation	
Limitation Distance	0 m
Total Area of Existing Building Foot	69.32 sqm
Area of Existing Building Foot	69.32 sqm
% of Existing Building Foot Area	100.00 %
Allowable	0.00 %



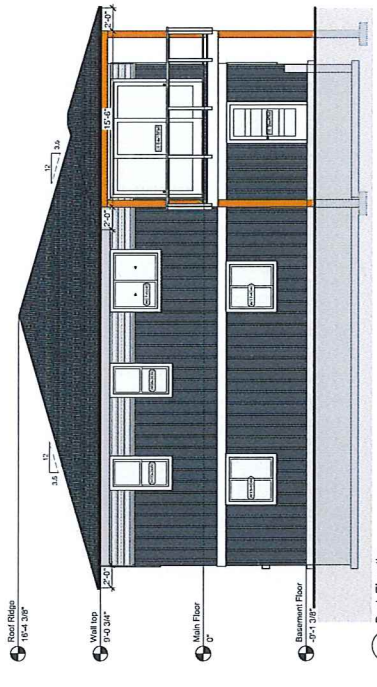
1 Front Elevation
Scale: 3/16" = 1'-0"

Spatial Separation	
Limitation Distance	0 m
Total Area of Existing Building Foot	69.32 sqm
Area of Existing Building Foot	69.32 sqm
% of Existing Building Foot Area	100.00 %
Allowable	0.00 %



4 Left Elevation
Scale: 3/16" = 1'-0"

Spatial Separation	
Limitation Distance	0 m
Total Area of Existing Building Foot	13.51 sqm
Area of Existing Building Foot	47.55 sqm
% of Existing Building Foot Area	0.00 %
Allowable	0.00 %



3 Back Elevation
Scale: 3/16" = 1'-0"

Spatial Separation	
Limitation Distance	0 m
Total Area of Existing Building Foot	54.04 sqm
Area of Existing Building Foot	71.5 sqm
% of Existing Building Foot Area	71.5 %
Allowable	0.00 %

REVISIONS:
None

ISSUED FOR:

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WOOD CREEK CONSTRUCTION LTD.
1571 HWY 478 SE
V1E 1X6 CANADA

Wood Creek Construction Ltd.
- Building with character -

ENGINEER:

ADDRESS: Salmon Arm, BC V1E
TEL: 250-835-4432
FAX: 250-835-4432

Foothills Estates
Lot2

Sections

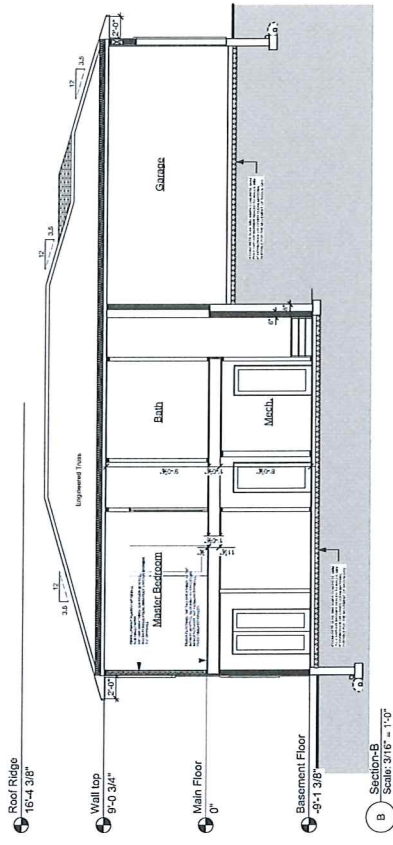
TITLE: FOUNDATION PLAN
LOC: Foothills Estates
SALMON ARM, BC

LEGAL DESCRIPTION:
Lot 2, Foothills Estates
Project Lot 2,
Plan

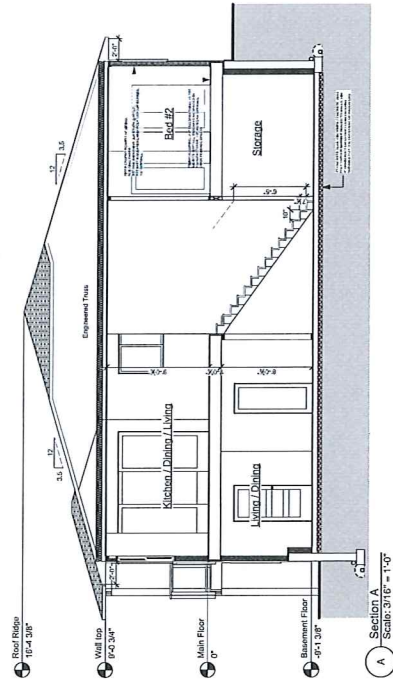
SO. FOOTAGE: 3102.7 sq. ft.
DESIGNED BY: T.M.B.D.
DRAWN BY: T.M.B.D.
JOB NO.: 18009
SCALE: 3/16" = 1'-0"
SHEET

A-3.01

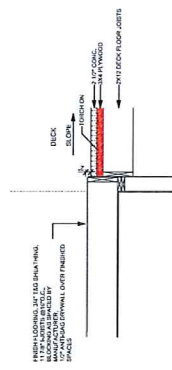
Date: 10/10/17
Time: 10:52:35



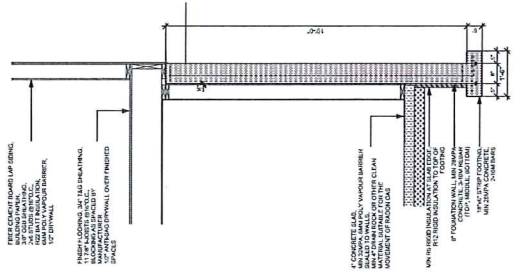
B Section-B
Scale: 3/16" = 1'-0"



A Section A
Scale: 3/16" = 1'-0"



1 1/2" x 4" LVL JOIST RESTING ON EXTERIOR WALL. JOIST END FINISHED WITH 1/2" OSB AND 1/2" PLYWOOD. WALL FINISHED WITH 1/2" GYPSUM BOARD AND 1/2" DRYWALL.



4" CONCRETE SLAB ON 12" x 12" CONCRETE FOOTING. FOOTING ON 4" x 4" POST-TENSIONED PILE. WALL FINISHED WITH 1/2" OSB AND 1/2" PLYWOOD.

FRESH LUMBER, 30% TAG DRAINING. MOISTURE PROTECTED BY 1/2" GYPSUM BOARD OVER FINISHED 2" FASCIA.

Mark	Window Schedule	Swag Operation	RO Width	RO Height	Comments
W1-01-	1660	Fixed Glass	1'6"	6'0"	
W1-02-	2650	Single Hung	2'6"	5'0"	
W1-03-	2650	Single Hung	2'6"	5'0"	
W1-04-	2650	Single Hung	2'6"	5'0"	
W1-05-	2650	Single Hung	2'6"	5'0"	
W1-06-	2650	Single Hung	2'6"	5'0"	
W1-07-	3040	Horizontal Slider	5'0"	4'0"	
W1-08-	2850	Single Hung	2'6"	5'0"	
W1-09-	2850	Single Hung	2'6"	5'0"	
W1-10-	3040	Horizontal Slider	5'0"	4'0"	
W1-11-	3040	Horizontal Slider	5'0"	4'0"	
W1-12-	4070	Fixed Glass	4'0"	2'0"	
W1-13-	4070	Fixed Glass	4'0"	2'0"	
W1-14-	4040	Horizontal Slider	4'0"	4'0"	
W1-15-	4040	Horizontal Slider	4'0"	4'0"	
W1-16-	4040	Horizontal Slider	4'0"	4'0"	
W1-17-	4040	Horizontal Slider	4'0"	4'0"	
W1-18-	4040	Horizontal Slider	4'0"	4'0"	

Mark	Door Schedule	Door Operation	Side Lites	RO Width	RO Height	Location
D-01-	3068	Swing B-part		3'2"	6'11"	
D-02-	2668	Swing Simple		2'8"	6'11"	
D-03-	3068	Swing B-part		3'2"	6'11"	
D-04-	2668	Swing Simple		2'8"	6'11"	
D-05-	2668	Swing Simple		2'8"	6'11"	
D-06-	2668	Swing Simple		2'8"	6'11"	
D-07-	4668	Swing B-part		4'2"	6'11"	
D-08-	2668	Swing Simple		2'8"	6'11"	
D-09-	2668	Swing Simple		2'8"	6'11"	
D-10-	2668	Swing Simple		2'8"	6'11"	
D-11-	4668	Swing B-part		4'0"	6'11"	
D-12-	2668	Swing Simple		2'8"	6'11"	
D-13-	2668	Swing Simple		2'8"	6'11"	
D-14-	2668	Swing Simple		2'8"	6'11"	
D-15-	4668	Swing B-part		4'0"	6'11"	
D-16-	4668	Swing B-part		4'0"	6'11"	
D-17-	15'x8' (Over head door)	Overhead		16'0"	8'0"	
D-18-	3068 (Steel)	Swing Simple		3'2 3/8"	6'11"	
D-19-	3068	Swing Simple		3'2 3/8"	6'11"	
D-20-	10090	Slider		10'0"	8'0"	
D-21-	3068	Swing Simple		3'2 3/8"	6'11"	

REVISIONS: None	ISSUED FOR:	PLEASE NOTE: THIS DRAWING IS FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION OR CHECK CONSTRUCTION WITHOUT THE ARCHITECT'S PERMISSION.	WOOD CREEK CONSTRUCTION LTD. SALMON ARMS BIC V1E 1X6 CANADA	- Building with character - Wood Creek Construction Ltd.	ENGINEER: HARRISON Salmon Arm, BC V1E 1X6 1-250-744-2626	FOOTHILLS Estates Lot2	SITE ADDRESS: Lot2, Foothills Estates Salmon Arm, B.C.	LEGAL DESCRIPTION: 1/4 Dist#1141, Plan	SO FOOTAGE: 31027 sq ft DESIGNER: JAMES DRAWN BY: JAMES SCALE: 1/4" = 1'-0" SHEET: 1 OF 1	DATE: 10/17/17 TIME: 10:21:38
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A-4.01

Schedule

REVISIONS:
None

ISSUED FOR:

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WOOD CREEK CONSTRUCTION LTD.
SALMON ARM B.C.
V1E 1X6 CANADA

Wood Creek Construction Ltd.
- Building with character -

ENGINEER:

ADDRESS:
Salmon Arm, BC V1E 1X6

Footfalls Estates
Lot 2

Basement Structural

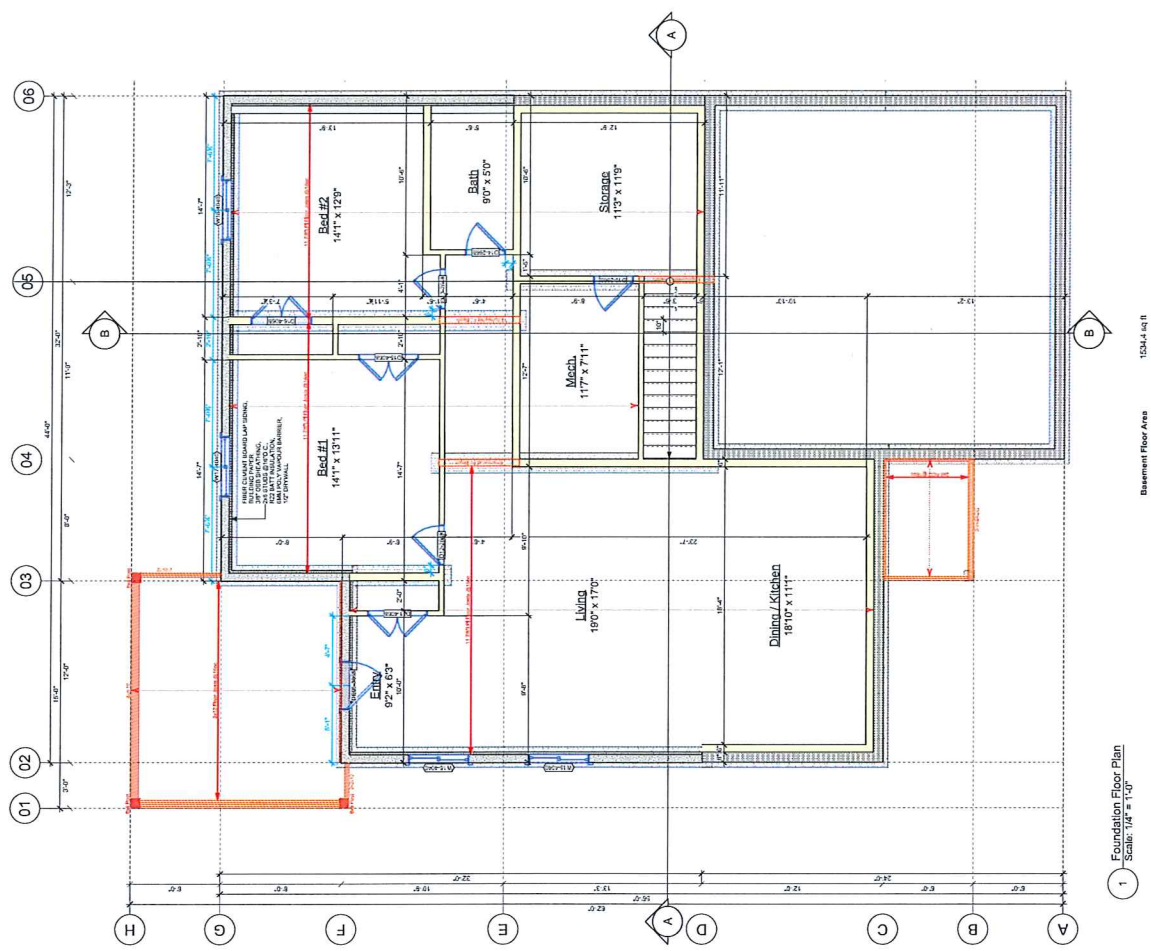
DATE: ADDRESS:
Lot 2, Footfalls Estates
Salmon Arm, B.C.

LEGAL DESCRIPTION:
Lot 2, District Lot 1, Plan

SO. FOOTAGE: 3102.7 sq. ft.
DESIGNED BY: J. BROWN
DRAWN BY: J. BROWN
DATE: 11/11/11
SHEET: 14" x 11"

S-1.01

Date: 11/11/11
Time: 10:50 AM



REVISIONS:
None

ISSUED FOR:

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WOOD CREEK CONSTRUCTION LTD.
SALMON ARM B.C.
V1E 1X6 CANADA

Wood Creek Construction Ltd.
- Building with character -

ENGINEER:

ADDRESS: Salmon Arm, B.C. V1E 1X6
TEL: 250-835-7426

FootHills Estates
Lot 2

Main Floor Structural

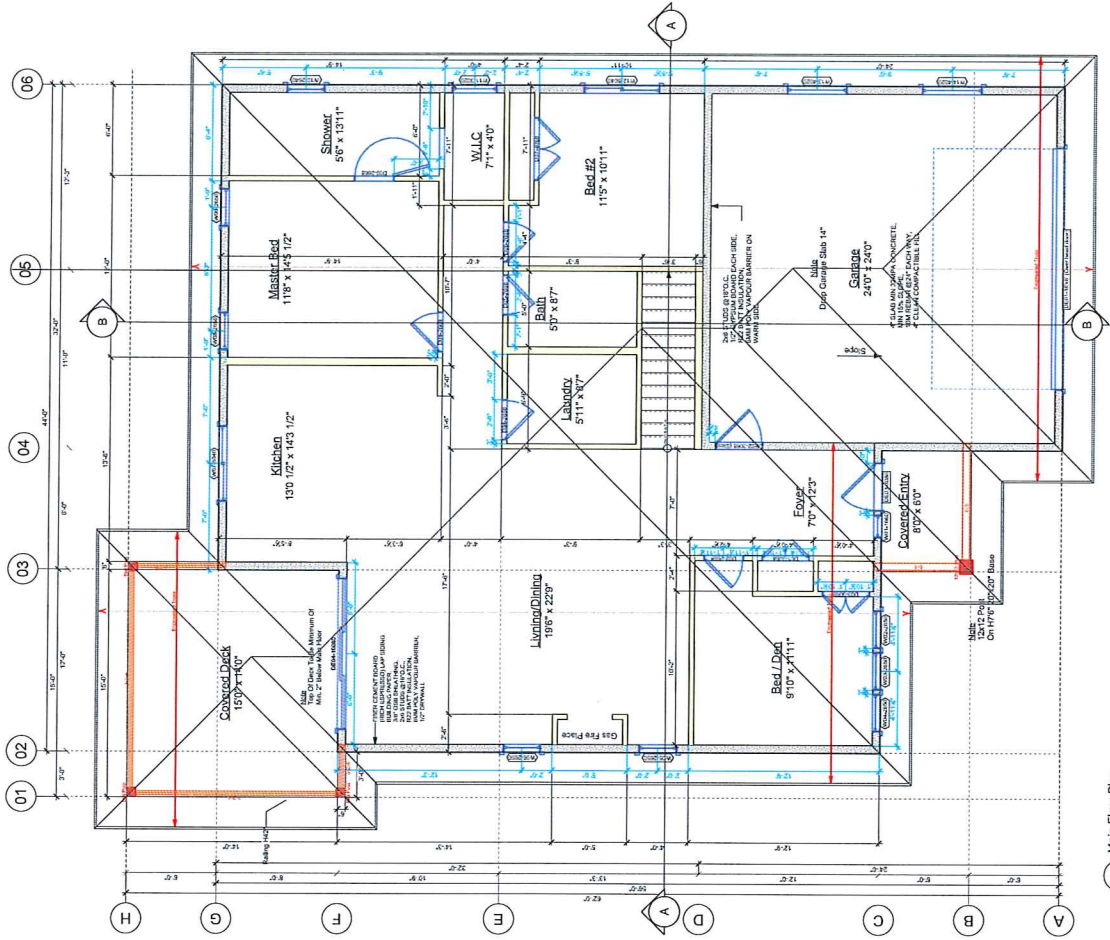
SITE ADDRESS: Lot 2, FootHills Estates Salmon Arm, B.C.

LEGAL DESCRIPTION: Lot 2, FootHills Estates, Plan

SQ. FOOTAGE: 3102.7 sq ft
DESIGN BY: T.M.A.S.
DRAWN BY: T.M.A.S.
JOB NO.: 18-002
SCALE: 1/4" = 1'-0"

S-1.02

DATE: 18/10/17
TIME: 12:24:41



2 Main Floor Plan
Scale: 1/4" = 1'-0"

Main Floor Area: 1563.3 sq ft
Garage Area: 500.7 sq ft
Deck / Porch Area: 252.5 sq ft